

CARBON COUNTY PLANNING DEPARTMENT

ROAD STANDARDS

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435-636-3710

INSTRUCTIONS

Detailed requirements for developing a subdivision can be found in the Carbon County Development Code online at carboncountyutah.com. Find DEPARTMENTS, then PLANNING & BUILDING, then DEVELOPMENT CODE. Please familiarize yourself with ALL applicable sections of the Code.

1. Refer to the enclosed Resolution No. 96-1; use Section I to prepare subdivision plans in accordance with County Standards.
2. Use Sections II and III to determine likely road requirements for your project.
3. Refer to the attached drawings, 1 through 11. Determine the appropriate type of roads for the project and use the specifications shown.
4. Plats (including roads) will be discussed during the approval process at both the Planning Commission and the County Commission meetings, where final recommendations for improvements will be made.
5. Subdivisions usually require street signs. The developer will be responsible for naming roads and purchasing street signs, with the approval of the County. Signs can be ordered through:

SAFETY SUPPLY AND SIGNS
Chris Smith, Sales Rep.
1-800-999-9874

6. Questions regarding road standards should be referred to the County Road Department at 636-3268, or the County Engineer's Office at 636-3231.

RESOLUTION NO 96-1

A Resolution adopting a minimum standard for Carbon County roadways and other improvements.

Whereas Article 6-8 of the Development Code of Carbon County, Utah requires that all subdivision plans, layouts, and designs meet minimum standards and specifications adopted by resolution of the Carbon County Commission: and

Whereas the Carbon County Commission intends to establish a standard for subdivision improvements and roadways constructed for dedication to the public: now therefore:

BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF CARBON COUNTY, UTAH THAT THE FOLLOWING STANDARDS BE ADOPTED; AND THAT ALL IMPROVEMENTS WHICH ARE HEREAFTER INSTALLED OR CONSTRUCTED IN OR FOR SUBDIVISIONS IN CARBON COUNTY BE MADE TO COMPLY WITH SAID STANDARDS AND SPECIFICATIONS.

SECTION I

Concept Plan: The concept plan shall show a simple sketch drawn to scale of the proposed street layout, lots, and other features, in relation to other existing or planned streets within one quarter mile of the proposed subdivision. The plan may be a pencil sketch, tracing over an aerial photograph, or other schematic acceptable to Carbon County. The sketch shall be prepared at not less than a scale of one inch equals 500 feet.

Preliminary Plan: The preliminary plan shall be drawn to a scale of one inch equals 100 feet or larger and shall show:

1. The proposed name of the subdivision.
2. The location of the subdivision as part of a larger tract where the plan submitted covers only part of the subdivider's tract.
3. The Engineer or Surveyors' name and license number.
4. The owner(s) of all land immediately adjoining the land to be subdivided.
5. Contour map at 40 foot intervals where required by the Planning Commission.
6. The boundary lines of the tract, and all existing or platted streets and other important features such as waterways, buildings, utility lines.
7. The location, width, and other dimensions of proposed streets, alleys, easements, parks, common drives, open space, trails, with labeling of same.
8. North point, scale, date of drawing.

9. Engineering drawings, typical cross sections, plans, or written statements regarding the plan as required by the Planning Commission.
10. The proposed location of all utility improvements to be installed such as waterlines, sewer lines, gas lines, electrical power lines, cable TV lines.

Final Plat: A final plat shall be prepared for all Major Subdivisions and shall be recorded in the Office of County Recorder. The plat shall consist of mylar or other material acceptable to the County to the trim line dimensions of twenty four (24) by thirty six (36) inches and the border line of the plat shall be drawn in heavy lines, leaving a space of at least one and one half inches on the left hand margin for binding, and one half inch around the other three sides. The plat shall be so drawn that the top of the sheet either faces north or west, whichever accommodates the drawing best. All lines, dimensions, markings shall be made with approved water proof india ink, or equivalent. the plat shall be made on a scale large enough to clearly show all details, and the workmanship shall be neat, clean cut, and readable. The plat shall contain the following information:

1. Subdivision name and location.
2. North point and scale with date of drawing.
3. Accurately drawn boundaries, bearings, distances, and chords, properly tied to public survey monuments.
4. The names, widths, lengths, bearings, and curve data on center lines of all proposed public streets, roadways, alleys, easements, common drives, along with the bearings and distances and dimensions of all portions within the subdivision intended to be dedicated to the public for use.
5. The lines, bearings, distances, dimensions, block and lot numbers and parts reserved for any reason within the subdivision. All streets, lots, blocks, and roadways to be numbered or addressed under the system approved by Carbon County.
6. The location of all public utilities which are within or adjacent to the subdivision, together with existing water or drainage courses or other constructed features that are involved.
7. The description and location of all required monuments, and all monuments set or maintained by Carbon County or the United States Government that are within or adjacent to this subdivision.
8. The standard form of signature block adopted by the County for the following:
 - a. description of land to be included in subdivision.
 - b. Registered Land Surveyor' "Certificate of Survey".

- c. Owners' dedication.
- d. Notary public's acknowledgement of dedication.
- e. Planning and Zoning Commission certificate of approval.
- f. County Engineer's certificate of approval.
- ~~g. Southeastern Utah Health District Sanitation approval.~~
- h. County Attorney's certificate of approval.
- i. County Commissioner's certificate of acceptance and approval.
- ~~j. Price River Water Improvement District's approval.~~
- k. County Clerk/Auditor's attestation.
- l. Commissioner/Surveyor certificate of approval.

SECTION II

Streets, alleys, cul-de-sacs, common drives, and easements shall conform to the width assigned on the Master Road Plan where the subdivision falls in an area where the Master Road Plan has been completed. Where a subdivision falls in an area where the Master Road Plan has not been completed at the time a preliminary is submitted to the Planning and Zoning Commission, streets shall be provided as recommended by the Planning & Zoning Commission, and approved by the County Commission to one of the Standards set forth in Section IV or an approved equal standard.

Alleys Alleys shall have a minimum width of twenty (20) feet. Alleys may be required at the rear of business lots, but will not be accepted in residential blocks except under unusual conditions where such alleys are considered necessary by the Planning and Zoning Commission.

Private/Common Drives Private/Common drives shall be permitted in all residential zones for lots that do not abut on a designated County road or public way when all of the following conditions can be met:

1. That the lot is connected to a public road over a private/common drive which is not less than 24 feet in width, nor more than two thousand six hundred and forty (2,640) feet in length from the point of connection to the public road.
2. The total number of dwelling units utilizing the easement for access shall be not greater than Three (3).
3. That the private/common drive provides perpetual access to all parcels served by recorded surface easement or fee title ownership.
4. That the travelway and drainage shall be constructed in accordance with County standards for private/common drives.

5. That a legal document acceptable to Carbon County shall be executed declaring the drive a private roadway and absolving the County from any responsibility for maintenance or construction upon the easement.

Cul-de-sac Cul-de-sacs shall be approved only where conditions exist which make other designs undesirable. Each cul-de-sac shall have a turn around of not less than one hundred (100) feet in diameter. Surface water must drain away from the turn around, except, where surface water cannot be drained away from the turn around along the street due to grade, catch basins, drainage structures, and easements shall be provided.

Reverse Curves Reverse curves shall have a tangent of at least one hundred (100) feet, unless in the opinion of the Planning & Zoning Commission such is not necessary.

Street Intersection Streets shall intersect each other as near as possible at right angles. Minor streets shall approach the major or collector streets at an angle of not less than eighty (80) degrees. Offsets in street alignment of more than ten (10) feet or less than one hundred twenty (120) feet shall be prohibited.

Street Grades Minimum street grades of 0.6 percent will be required with the maximum grade being 7 percent for collector streets and 10 percent for minor streets. Where the observance of this standard is unfeasible, the Planning & Zoning Commission shall have the power to grant an exception when special pavement surfaces and adequate leveling areas are installed or in the opinion of the Planning & Zoning Commission the best subdivision of the land is thereby secured.

Street Curves Where the street lines within a block deflect from each other at any one point more than ten (10) degrees, there should be a connecting curve. The radius of the curve for the inner street line should be not less than 350 feet for major streets, 250 feet for an important neighborhood street, and 100 feet for minor streets.

Street Names New street names should not duplicate those already existing. A street obviously a continuation of another already in existence, should bear the same name. Before the street is named, the proposed name must be submitted to and approved by the Planning & Zoning Commission.

Street Dedication All streets shall be dedicated for public use. The dedication of half streets in any subdivision is prohibited, except on the borders.

Relation to Adjoining Street Systems The arrangement of streets in new subdivisions shall make provision for the continuation of the existing streets in adjoining areas (or their proper projection where adjoining land is not subdivided) at the same or greater width (but in no case less than the required minimum width) unless variations are deemed necessary by the Planning & Zoning Commission.

Divided Lots Where the land covered by a subdivision included two or more parcels in separate ownership and the lot arrangement is such that a property ownership line divides one or more lots, the land in each lot so divided shall be transferred by deed to single ownership before approval of the final plat, and such transfer recorded in the County Recorder's Office before being certified to the Planning & Zoning Commission by the subdivider.

Easements Where alleys are not provided, easements of not less than five (5) feet on each side of all rear lot lines and side lines will be required where necessary for poles, wire, conduit, storm or sanitary sewers, gas and water mains, and other public utilities. Easements of greater width may be required along property lines where necessary for surface overflow or for the extension of main sewers or similar utilities.

Blocks

A. Length. The maximum length of blocks, generally, shall be thirteen hundred (1,300) feet and the minimum length of blocks shall be five hundred (500) feet. In blocks over eight hundred (800) feet in length, the subdivider may be required to dedicate a walkway through the block at approximately the center of the block. Such walkway shall not be less than ten (10) feet in width,

B. Width. The width of blocks generally shall be sufficient to allow two (2) tiers of lots.

C. Use. Blocks intended for business or industrial use shall be designated especially for such purposes with adequate space set aside for offstreet parking and delivery facilities.

Lots

A. Building Sites. The lot arrangement, design, and shape shall be such that lots will provide satisfactory and desirable sites for buildings and be properly related to topography and conform to the requirements set forth herein. Lots shall not contain peculiarly shaped elongations solely to provide necessary square footage which would be unusable for normal purposes.

B. Lot Sizes. All lots shown on the subdivision plat must conform to the minimum requirements of the Zoning Ordinance for the zone in which the subdivision is located.

C. Lots Must Abut On Public Streets. Each lot shall abut on a street dedicated by the subdivision plat or an existing publicly dedicated street, or on a street which had become public by right of use and is at least fifty (50) feet wide, except when approved by the Planning & Zoning Commission as mountain home or planned unit development. Interior lots having frontage on two streets shall be prohibited, except where topographic conditions make such design desirable.

D. Corner Lots. Corner Lots shall have extra width sufficient for maintenance of required building lines on both streets.

E. Angle of Lots. Side lines of lots shall be approximately at right angles, or radial to the street line, except where topographic conditions make it advisable to have side lot lines deflect at sharper angles.

F. Parts of Lots. All remnants of lots below minimum size left over after subdividing of a larger tract must be attached to adjacent lots rather than allowed to remain as unusable parcels.

Locked Gates/Restricted Access: Access to residential, commercial, or industrial lots and property may be restricted to owners, lessees, employees, and public officials by the installation of locked gates after first executing a legal document acceptable to Carbon County for the purpose(s) of security, privacy, or the preservation of land, water, or wildlife. The legal document shall absolve Carbon County of any and all construction, maintenance, or liability for the restricted access. The document shall be recorded in the office of the County Recorder. In all such cases, Carbon County shall reserve the right of ingress and egress for police, fire, ambulance, emergency, planning, and building inspection services.

SECTION III

Definitions:

Class A Road: A road as shown on the Official County Road map, which is owned and maintained by the State of Utah as part of the State Road System.

Class B Road: A road as shown on the Official County Road Map as part of the primary County Road System and maintained by Carbon County.

Class 3 Road: A public road as shown on the Official County Road Map as a minor County accessway and maintained by a private individual or individuals as evidenced by a recorded legal document.

Designated County Road: A road shown on the Official County Road Map as a Class B, D, or 3 road.

Class D Road: A road as shown on the County Class D/UCA 27-12-89 road map and as defined by the State of Utah.

Approved Private/Common Drive: A privately owned vehicular accessway over which access is or can be denied to the public, serving up to 3 residences as approved by the site plan committee or which has received approval by the County Planning & Zoning Commission, and County Commission and has been so designated on the Official County Road Map.

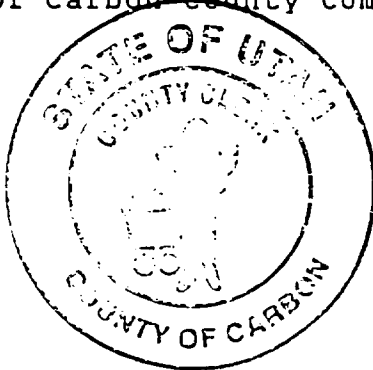
Restricted access road: A privately owned and maintained travelway which may be closed to the general public, but is accessible to public officials for emergency, police, planning, assessment, and inspection services.

SECTION IV

The following widths, standards, specifications, and drawings are a part of this resolution and shall be the minimum standard for curb, gutter, sidewalk, and roadway construction in Carbon County, Utah:

Pages 1-11, Official drawings prepared by the Carbon County Engineers Office.

Passed and signed this 21 day of Feb., 1996, by the Board of Carbon County Commissioners, Carbon County, Utah.



Neil Breinholt
Neil Breinholt, Chairman

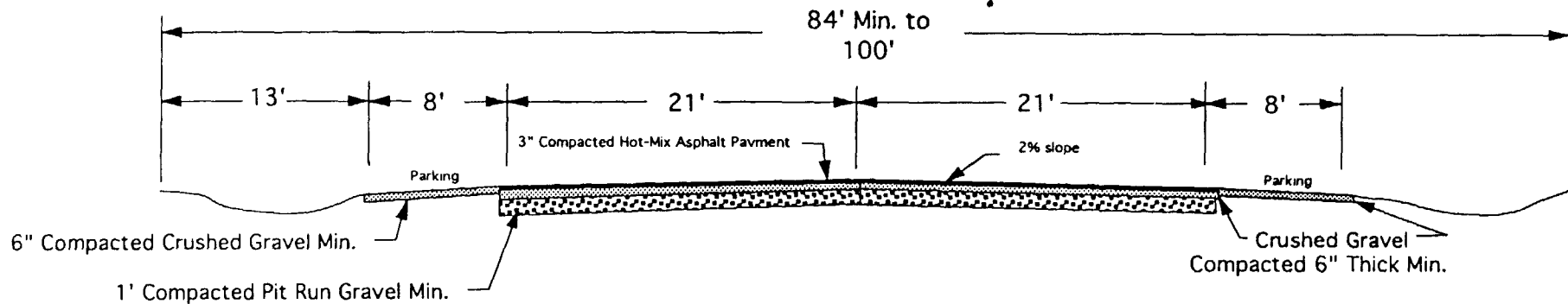
Michael Milovich
Michael Milovich, Commissioner

William D. Krompel
William D. Krompel, Commissioner

Attest:

Robert P. Pero
Robert P. Pero

Rural Arterial Paved Road Specification



Provides 2 12' Lane,
a Left Turn Lane, and
2 8' Pedestrian &
Parking Lane

CARBON COUNTY ENGINEERING DEPT.
COURTHOUSE BUILDING 120 EAST MAIN PRICE, UTAH 84501

Road Standards Class B

DESIGN EH JAN. 12, 1996

CHECKED NH JAN. 12, 1996

DRAWN NH JAN. 12, 1996

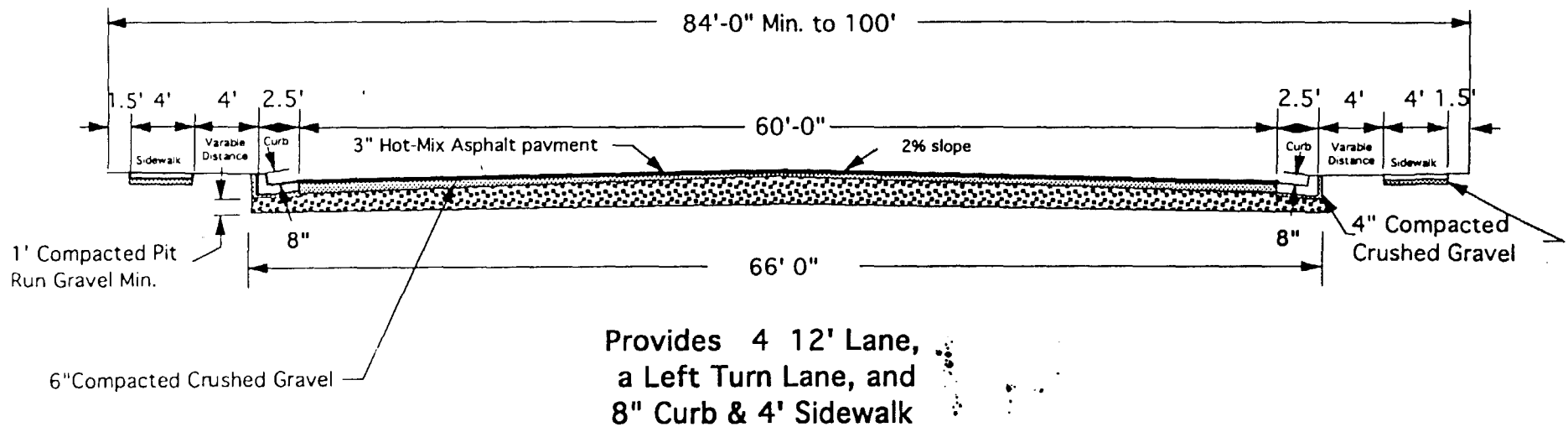
CHECKED EH JAN. 12, 1996

SCALE 1" = 10'

DRAWING NUMBER

SHEET 1 OF 11

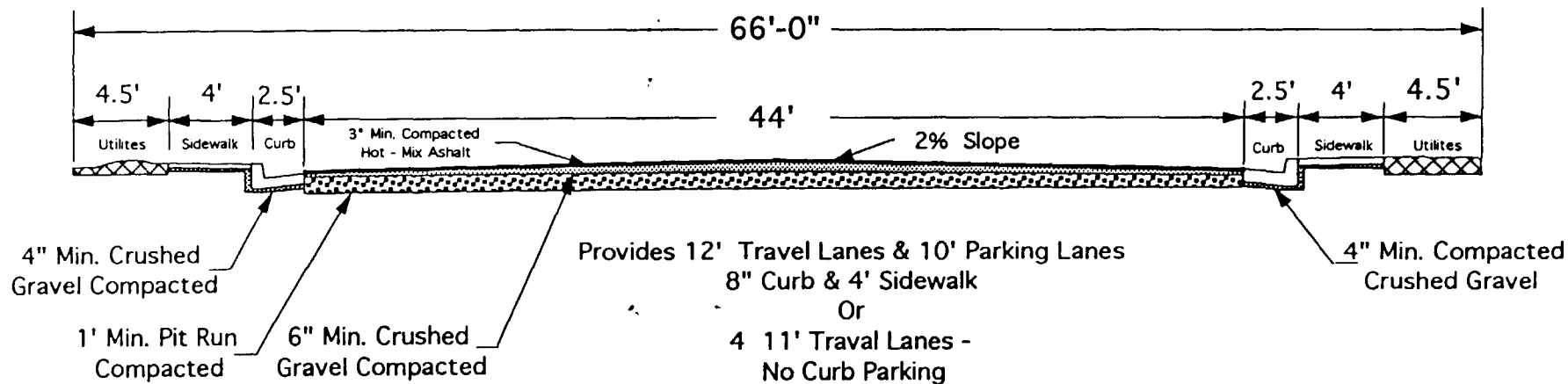
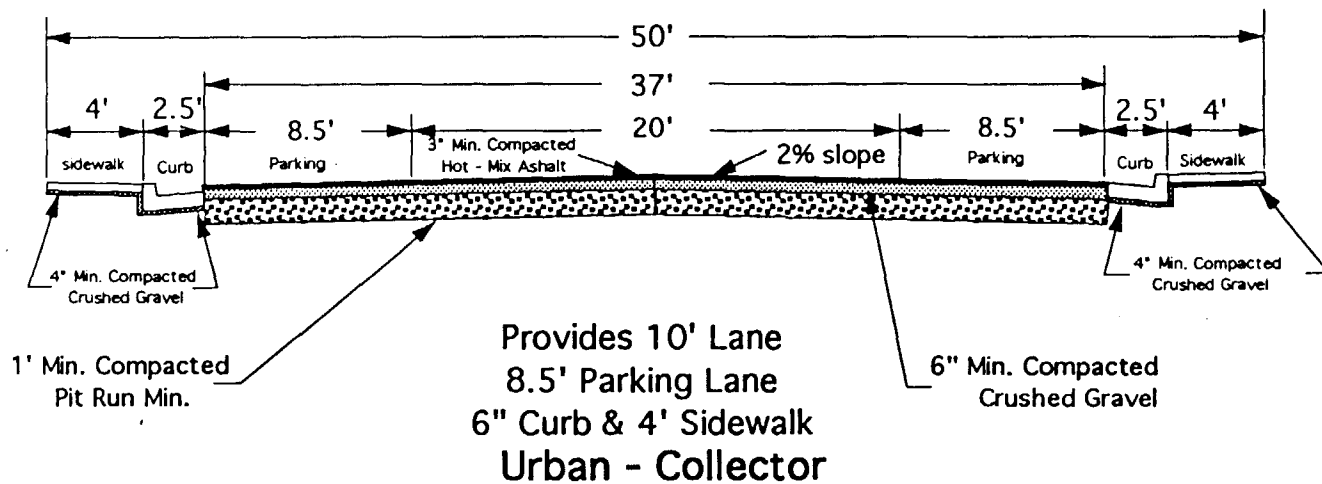
Urban Arterial Paved Road Specification



Note: Concrete curb and gutter shall be 30 inches wide. Contraction joints shall be every 10 feet, and expansion joints with filler material shall be every 30 feet. Concrete sidewalk shall be a minimum of 4 feet wide and 4 inches thick, except at at driveways which shall be 6 inches thick. Contraction joints shall be every 4 feet and expansion joints with filler material shall be every 32 feet. All concrete shall be class AA (AE) 6.5 bag mix water cement ratio maximum 5.0 gallons/sack. Type II or Type V Portland Cement shall be used. All sidewalks surfaces shall receive a straight broom finish texture.

CARBON COUNTY ENGINEERING DEPT. COURTHOUSE BUILDING 120 EAST MAIN PRICE, UTAH 84501		
Road Standards Class B		
DESIGN EH JAN. 12, 1996	CHECKED NH JAN. 12, 1996	
DRAWN NH JAN. 12, 1996	CHECKED EH JAN. 12, 1996	
SCALE 1" = 10'	DRAWING NUMBER	SHEET 2 OF 11

Urban - Local



Note: Concrete curb and gutter shall be 30 inches wide. Contraction joints shall be every 10 feet, and expansion joints with filler material shall be every 30 feet. Concrete sidewalk shall be a minimum of 4 feet wide and 4 inches thick, except at at driveways which shall be 6 inches thick. Contraction joints shall be every 4 feet and expansion joints with filler material shall be every 32 feet. All concrete shall be class AA (AE) 6.5 bag mix water cement ratio maximum 5.0 gallons/sack. Type II or Type V Portland Cement shall be used. All sidewalks surfaces shall receive a straight broom finish texture.

CARBON COUNTY ENGINEERING DEPT.
COURTHOUSE BUILDING 120 EAST MAIN PRICE, UTAH 84501

Road Standards Class B

DESIGN EH JAN. 12, 1996

CHECKED NH JAN. 12, 1996

DRAWN NH JAN. 12, 1996

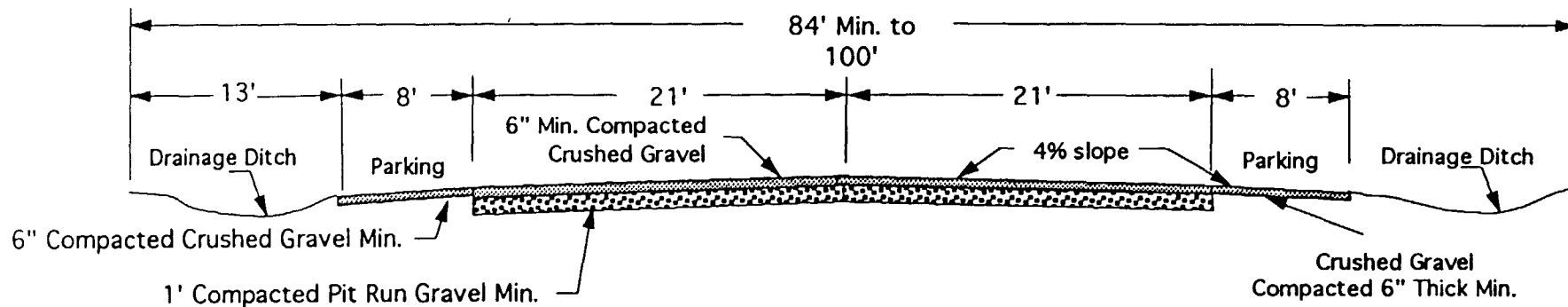
CHECKED EH JAN. 12, 1996

SCALE 1" = 8'

DRAWING NUMBER

SHEET 3 OF 11

Rural Arterial Gravel Road Specification

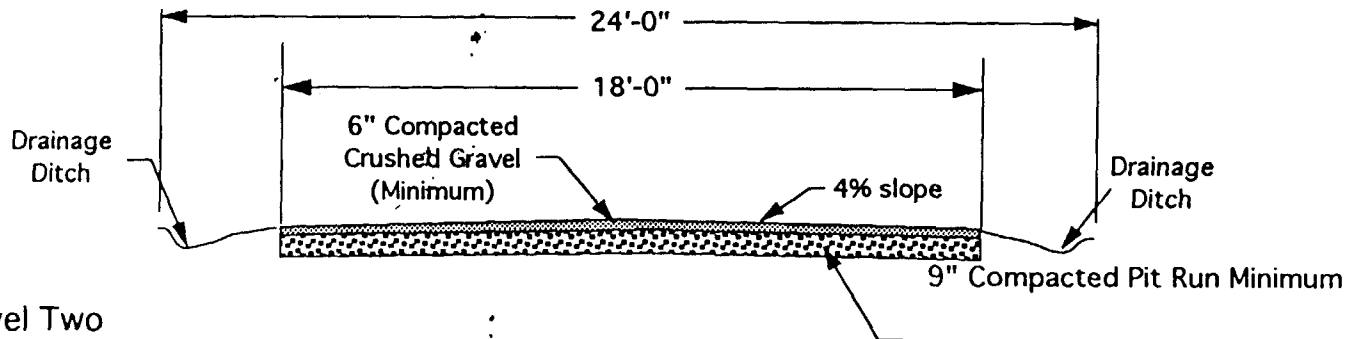


Provides 2 12' Lane,
a Left Turn Lane, and
2 8' Pedestrian &
Parking Lane

CARBON COUNTY ENGINEERING DEPT.			
COURTHOUSE BUILDING 120 EAST MAIN PRICE, UTAH 84501			
Road Standards Class B			
DESIGN	EH JAN. 12, 1996	CHECKED	NH JAN. 12, 1996
DRAWN	NH JAN. 12, 1996	CHECKED	EH JAN. 12, 1996
SCALE 1" = 10'		DRAWING NUMBER	SHEET 4 OF 11

PRIVATE COMMON DRIVES

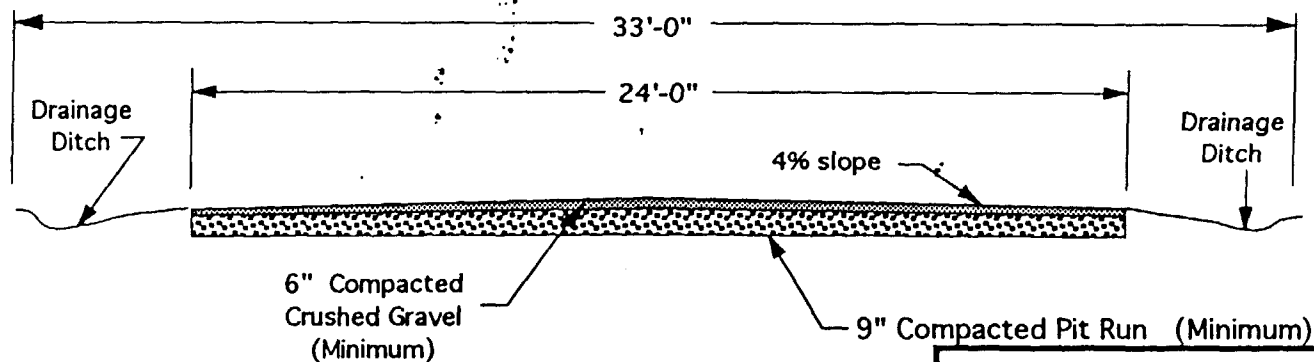
24' (Gravel)



Provides Gravel Two
Way 9' Lanes &
3' Drainage Ditches

PRIVATE COMMON DRIVES

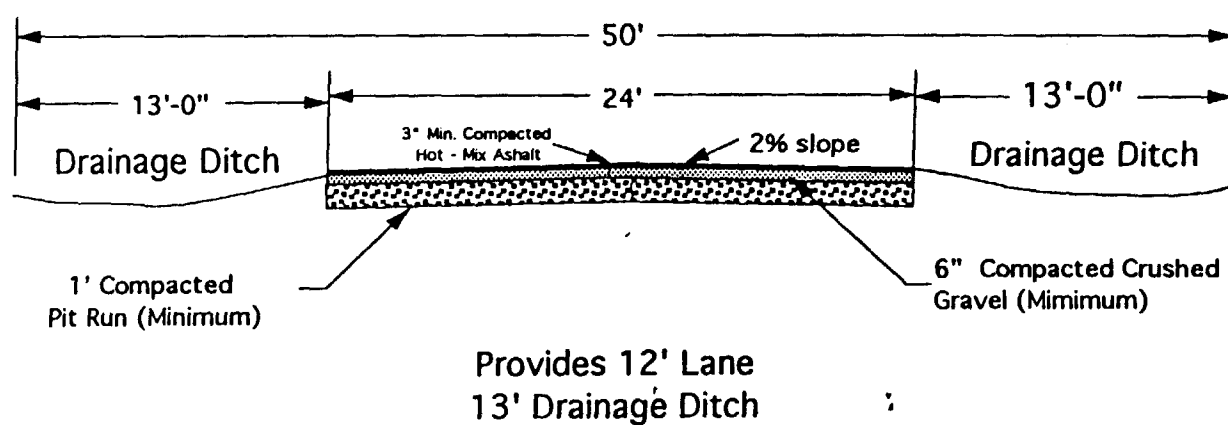
33' (Gravel)



Provides Gravel Two
Way 12' Lanes &
4.5' Drainage Ditches

CARBON COUNTY ENGINEERING DEPT.			
COURTHOUSE BUILDING 120 EAST MAIN PRICE, UTAH 84501			
Road Standards Class 3			
DESIGN	EH JAN. 26, 1996	CHECKED	NH JAN. 26, 1996
DRAWN	NH JAN. 26, 1996	CHECKED	EH JAN. 26, 1996
SCALE 1" = 5'		DRAWING NUMBER	SHEET 5 OF 11

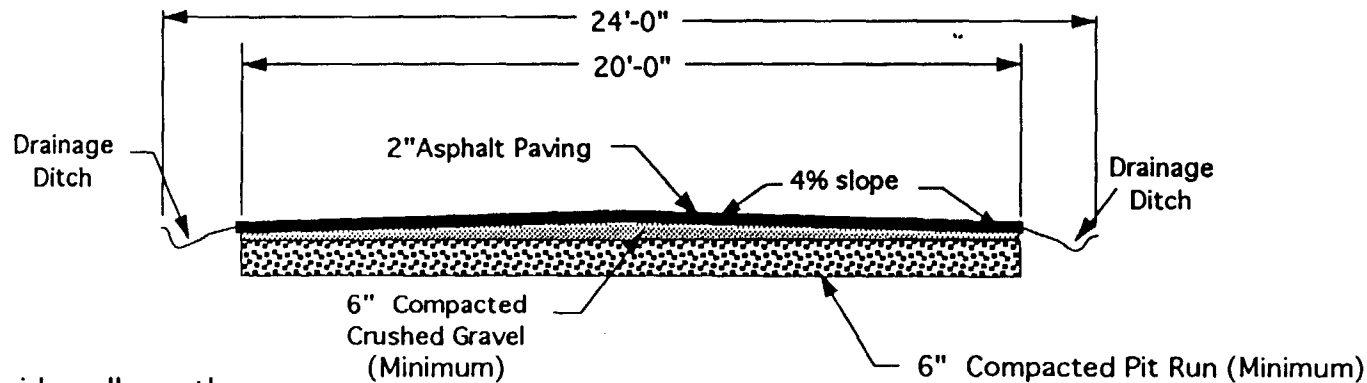
CARBON COUNTY SUBDIVISION ROAD STANDARDS (50 feet road right of way with no curb)



CARBON COUNTY ENGINEERING DEPT. COURTHOUSE BUILDING 120 EAST MAIN PRICE, UTAH 84501			
Road Standards Class B			
DESIGN	EH JAN. 12, 1996	CHECKED	NH JAN. 12, 1996
DRAWN	NH JAN. 12, 1996	CHECKED	EH JAN. 12, 1996
SCALE 1" = 8'		DRAWING NUMBER	SHEET 6 OF 11

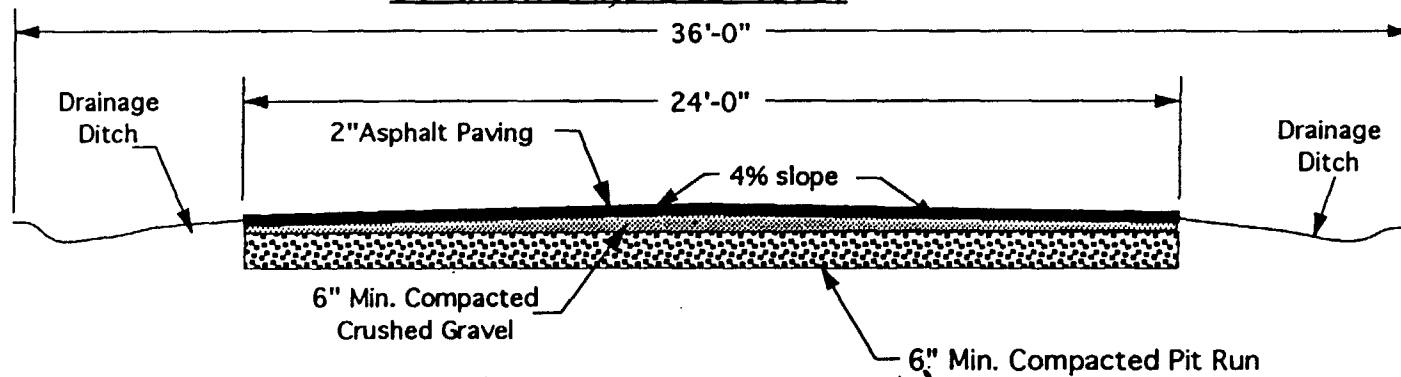
MOBILE / RV PARKS

20' SIDE ROADS



Provides all weather
Two Way 8' Lanes &
2' Drainage Ditches

36' ENTRY AND COLLECTOR



Provides all weather
Two Way 12' Lanes &
6' Drainage Ditches

CARBON COUNTY ENGINEERING DEPT.

COURTHOUSE BUILDING 120 EAST MAIN PRICE, UTAH 84501

Road Standards Class 3

DESIGN EH JAN. 12, 1996

CHECKED NH JAN. 12, 1996

DRAWN NH JAN. 12, 1996

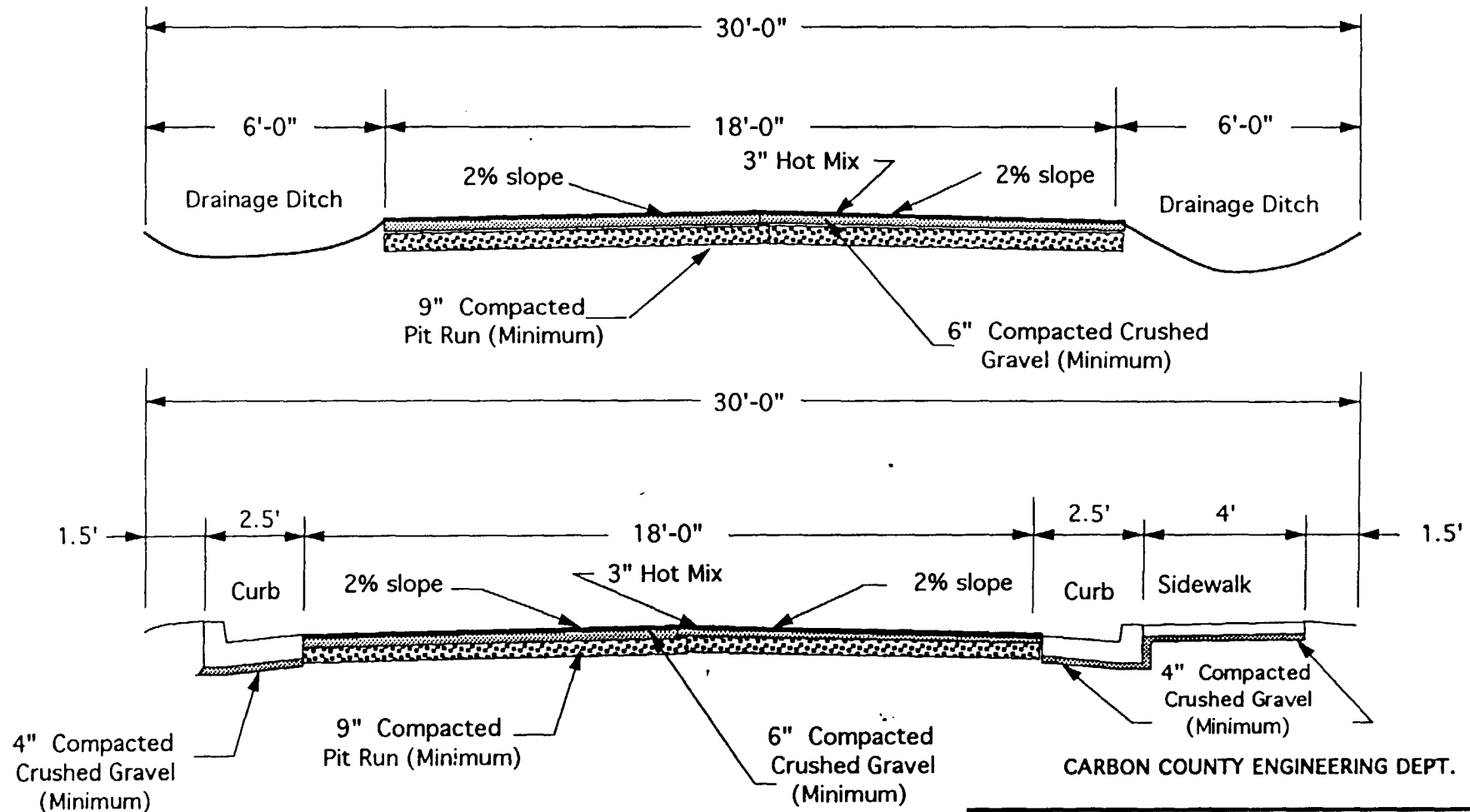
CHECKED EH JAN. 12, 1996

SCALE 1" = 5'

DRAWING NUMBER

SHEET 7 OF 11

PRIVATE COMMON DRIVES (SURFACED)

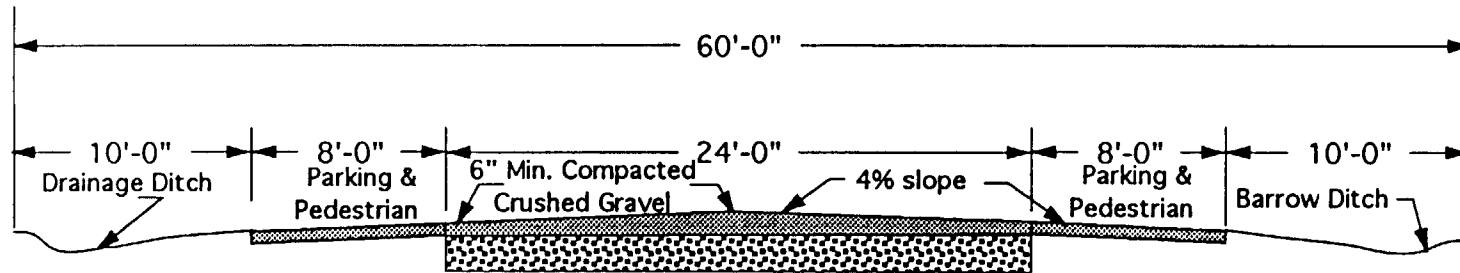


CARBON COUNTY ENGINEERING DEPT.

Note: Concrete curb and gutter shall be 30 inches wide. Contraction joints shall be every 10 feet, and expansion joints with filler material shall be every 30 feet. Concrete sidewalk shall be a minimum of 4 feet wide and 4 inches thick, except at at driveways which shall be 6 inches thick. Contraction joints shall be every 4 feet and expansion joints with filler material shall be every 32 feet. All concrete shall be class AA (AE) 6.5 bag mix water cement ratio maximum 5.0 gallons/sack. Type II or Type V Portland Cement shall be used. All sidewalks surfaces shall receive a straight broom finish texture.

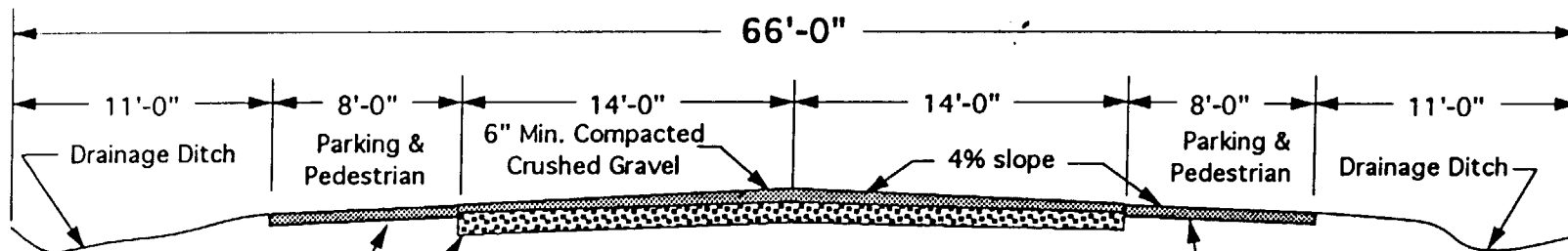
COURTHOUSE BUILDING 120 EAST MAIN PRICE, UTAH 84501			
Road Standards Class 3			
DESIGN	EH	JAN. 26, 1996	CHECKED NH JAN. 26, 1996
DRAWN	NH	JAN. 26, 1996	CHECKED EH JAN. 26, 1996
SCALE 1" = 5'		DRAWING NUMBER	SHEET 8 OF 11

Rural Gravel- Local



Provides 12' Lane
8.0' Parking Lane &
Pedestrian

Rural Gravel - Collector



6" Min. Compacted Crushed Gravel

1' Min. Compacted Pit Run

Provides 14' Lane
8' Parking Lane &
Pedestrian

6" Min. Compacted
Crushed Gravel Min.

CARBON COUNTY ENGINEERING DEPT.

COURTHOUSE BUILDING 120 EAST MAIN PRICE, UTAH 84501

Road Standards Class B

DESIGN EH JAN. 12, 1996

CHECKED NH JAN. 12, 1996

DRAWN NH JAN. 12, 1996

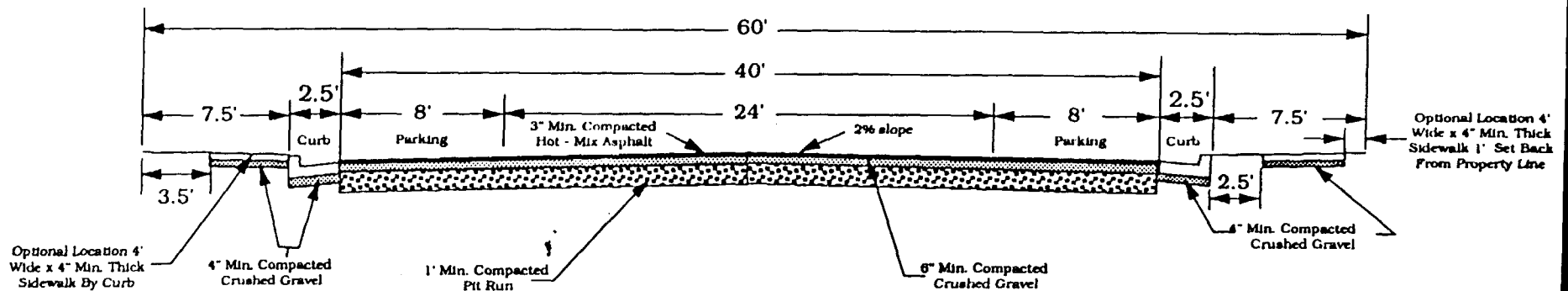
CHECKED EH JAN. 12, 1996

SCALE 1"= 8'

DRAWING NUMBER

SHEET 9 OF 11

CARBON COUNTY SUBDIVISION ROAD STANDARDS

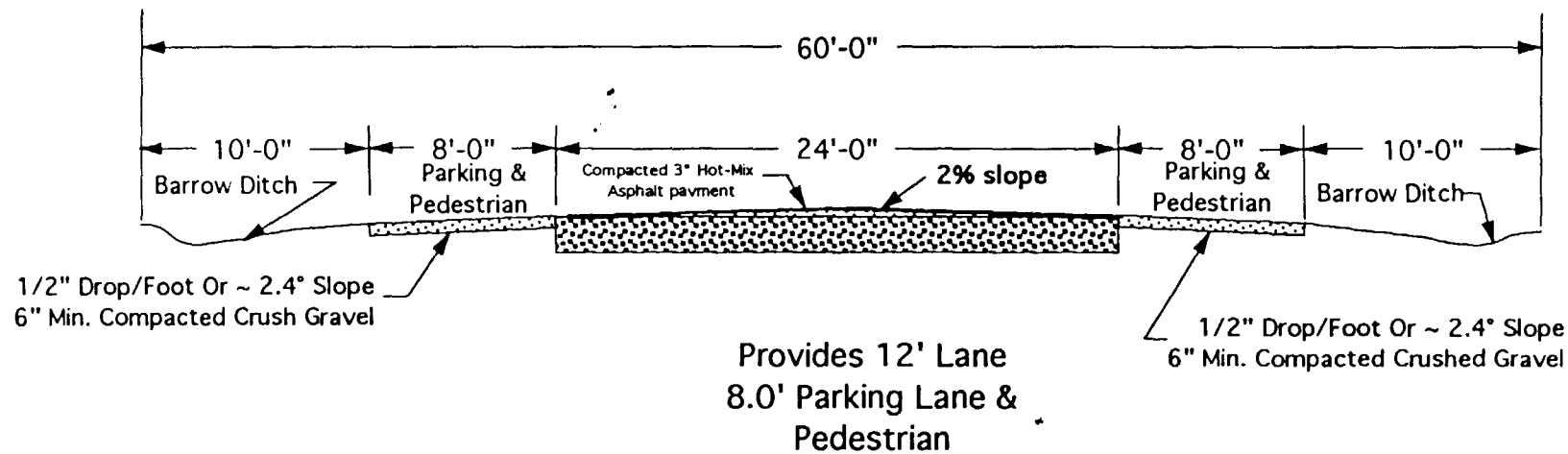


- Provides 12' Lane
- 8.0' Parking Lane
- 2.5' Curb 6" high back

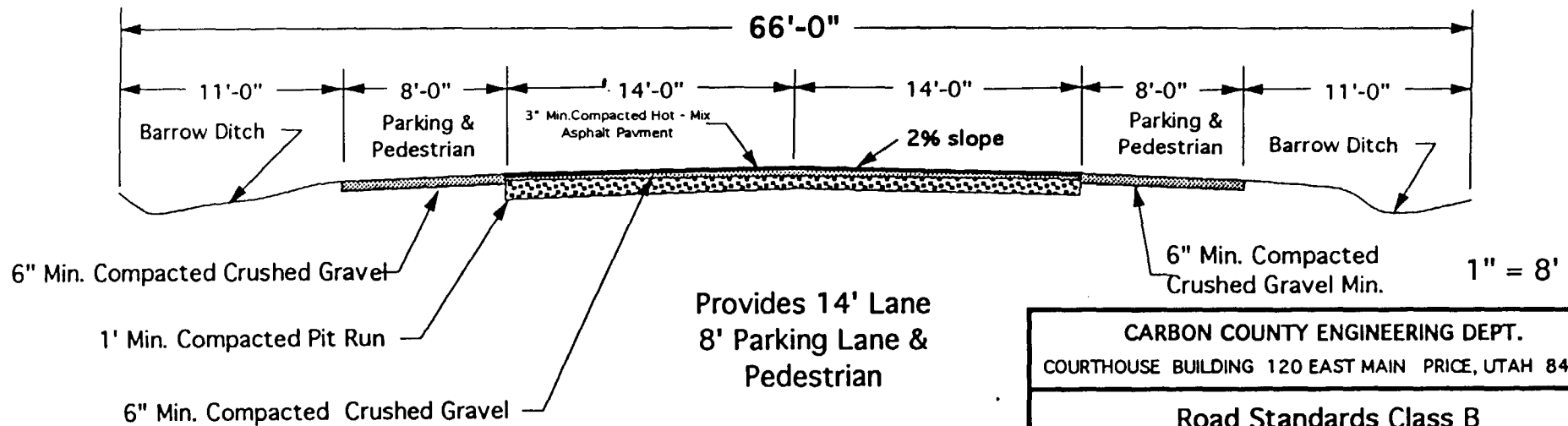
Note: Concrete curb and gutter shall be 30 inches wide. Contraction joints shall be every 10 feet, and expansion joints with filler material shall be every 30 feet. Concrete sidewalk shall be a minimum of 4 feet wide and 4 inches thick, except at at driveways which shall be 6 inches thick. Contraction joints shall be every 4 feet and expansion joints with filler material shall be every 32 feet. All concrete shall be class AA (AE) 6.5 bag mix water cement ratio maximum 5.0 gallons/sack. Type II or Type V Portland Cement shall be used. All sidewalks surfaces shall receive a straight broom finish texture.

CARBON COUNTY ENGINEERING DEPT.			
COURTHOUSE BUILDING 120 EAST MAIN PRICE, UTAH 84501			
Road Standards Class B			
DESIGN	EH JAN. 12, 1996	CHECKED	NH JAN. 12, 1996
DRAWN	NH JAN. 12, 1996	CHECKED	EH JAN. 12, 1996
SCALE 1" = 8'		DRAWING NUMBER	SHEET 10 OF 11

Rural- Local



Rural - Collector



CARBON COUNTY ENGINEERING DEPT.			
COURTHOUSE BUILDING 120 EAST MAIN PRICE, UTAH 84501			
Road Standards Class B			
DESIGN	EH JAN. 12, 1996	CHECKED	NH JAN. 12, 1996
DRAWN	NH JAN. 12, 1996	CHECKED	EH JAN. 12, 1996
SCALE 1" = 8'		DRAWING NUMBER	SHEET 11 OF 11